

APPROVED
-SUBJECT TO CONDITIONS-
CITY OF PALMDALE
PLANNING DEPARTMENT

SIGN PERMIT *R. K. J.*

Sign Program 95-01

DATE *3/9/95*

SIGN PROGRAM
PLAZA DEL SOL
3030 E. Palmdale Blvd.
Palmdale, CA

Prepared by: A & A Sign Co.
428 W. Los Feliz
Glendale, CA 91204
(818) 502-0520 (phone)
(818) 502-1239 (Fax)

Contact: Mrs. Doris Bennett or
Mr. Arutun Yapudzhyan

Date prepared: February 8, 1995
Revision dates, if any: March 8, 1995

GENERAL NOTES:

The purpose of this sign program is to establish sign standards intended to insure coordinated proportional exposure for all tenants at the site as well as to guarantee a pleasant, well-planned overall appearance of the development with regards to signage.

The tenant shall be responsible for engaging and paying a qualified sign contractor to secure necessary City permits and perform all sign work involved. The tenant shall also be responsible for maintaining his/her sign in good condition.

GENERAL SPECIFICATIONS:

1. All signing shall be of materials compatible with exterior building materials and finishes and shall be fabricated and installed in the best manner possible.
2. No animated, flashing or audible signs will be allowed.
3. No sign of an obscene, indecent or immoral nature or unlawful activity shall be allowed.
4. No exposed cross-overs, conduits, conductors, transformers, etc. shall be allowed.
5. All signs and their installation must comply with all local, building and electrical codes.

WALL SIGNS SPECIFICATIONS:

1. All wall signs to be centered over tenant lease space, unless prohibited because of a building architectural obstruction.
2. Wall signs to be of the individual channel letter type. New cabinet signs prohibited unless approved by the Planning Director.
3. Maximum allowable letter height shall not exceed twenty-four (24) inches.
4. Wall signs not to extend above the parapet.
5. The maximum allowable sign area is not to exceed one and one half ($1\frac{1}{2}$) square feet per lineal foot of frontage on the primary frontage, not to exceed seventy-five (75) square feet. Additional signs will be allowed on all other frontages except building sides abutting residentially designated properties. The sign area allowed for other frontages will be one half ($1/2$) square foot per lineal foot of building frontage not to exceed fifty (50) square feet. The sign area will be calculated by creating a rectangle around the letters or shapes, then multiplying the length by the width.
6. If a logo is used in conjunction with the tenant name, the logo must not exceed the twenty-four (24) inch maximum allowed for the letter height. The logo will be included when calculating the square footage.
7. All signs require Planning Department approval.
8. All signs must conform to the sign program with respect to size, height, et.
9. Property owner cannot over-ride sign program without revising the sign prog

continued

Page two

MONUMENT SIGNS SPECIFICATIONS:

1. Two (2) monument signs shall be provided at site, per attached site plan.
2. The two monument signs to be identical to each other in size, height, design, colors, manufacturing and installation methods.
3. Signs are internally illuminated.
4. Signs are located approximately 220' apart, are set back ten (10) feet from front property lines to edge of sign, measure 5' high overall and 10' long.
5. Left sections of the signs identify the Plaza Del Sol. Right hand sections to accommodate tenant names.
6. See attached drawing for colors, locations, full details.

Plans prepared by:

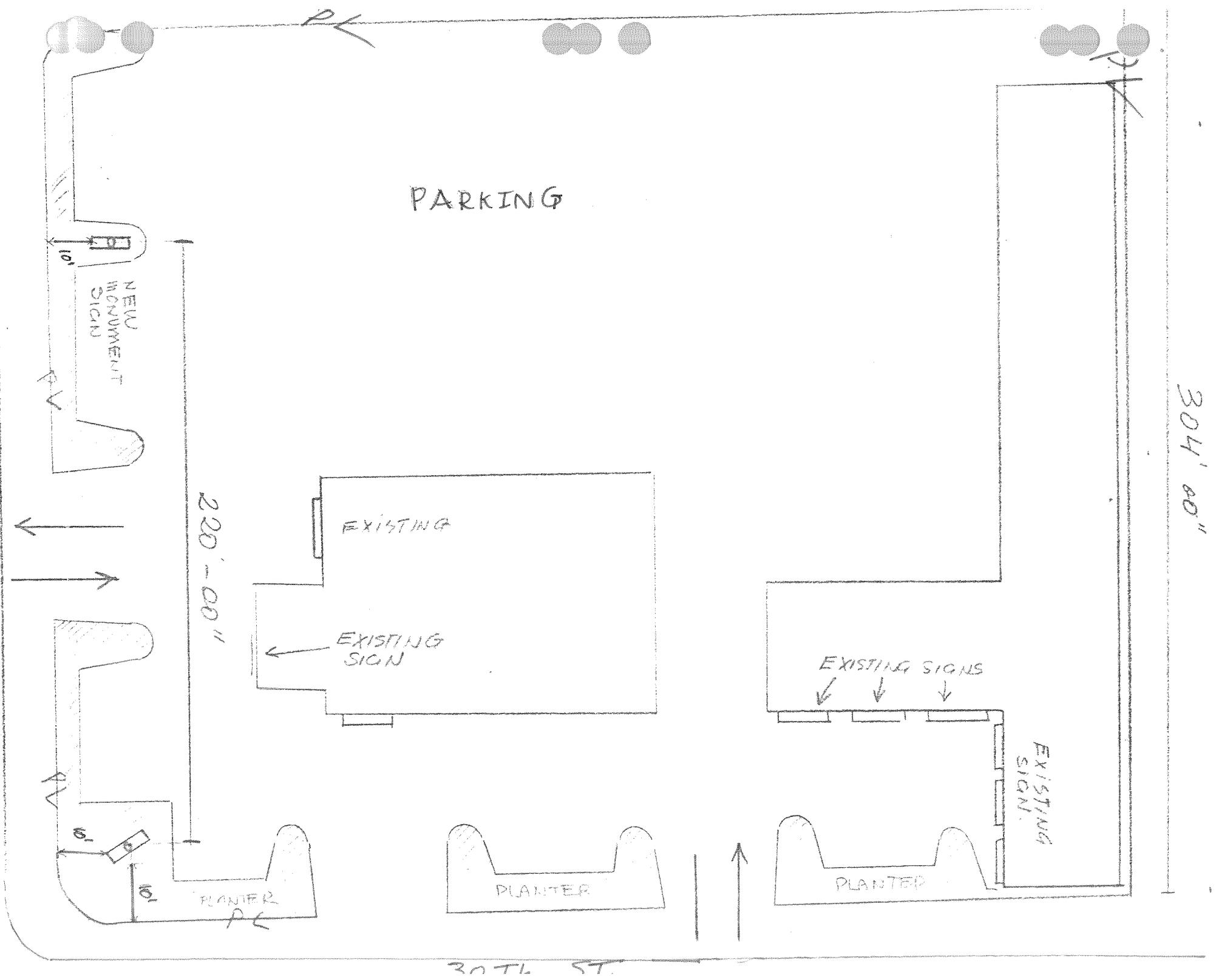
A & A Sign Co.
428 W. Los Feliz
Glendale, CA 91204

(818) 502-0520

3030 PALMDALE BLVD.

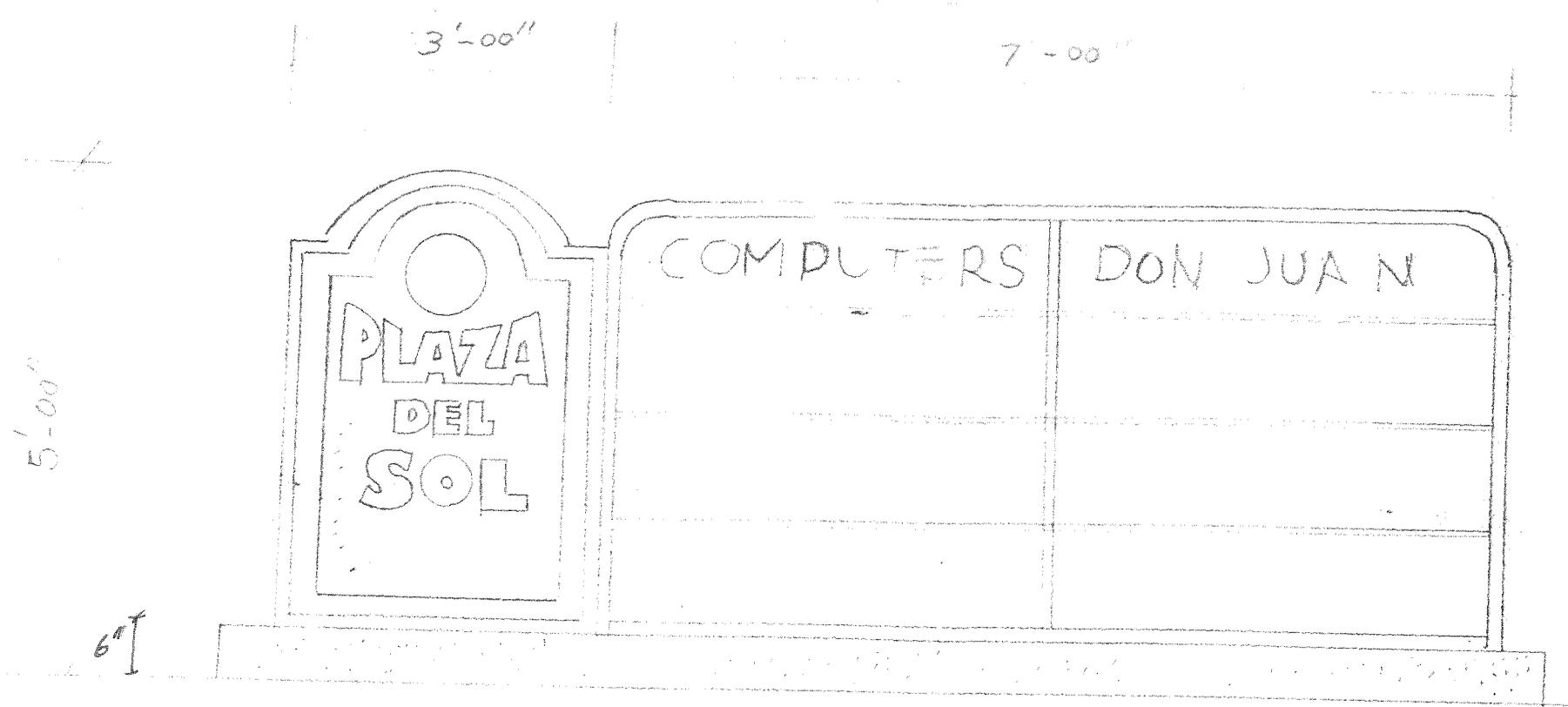


PLAZA DEL SOL
3030 Palmdale Blvd.
Palmdale, CA



304' 00"

3076 ST.



NO SCALE

2 MONUMENT SIGNS

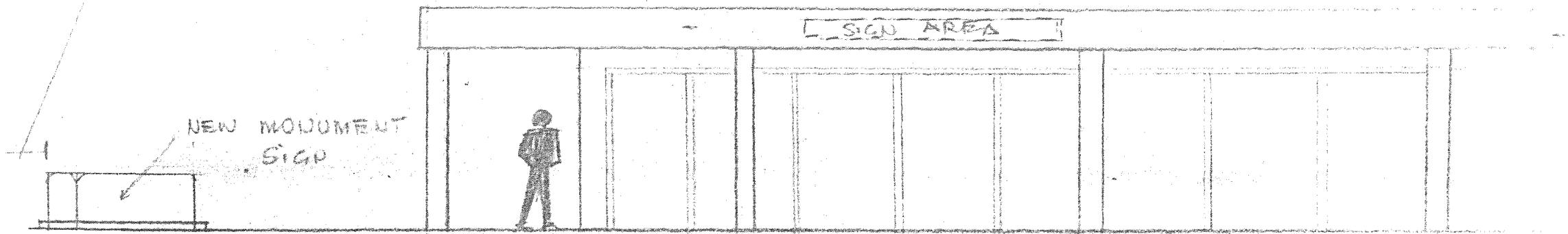
APPROVED
 INITIALS *JK*
S.O.
 MAR 09 1995
 CITY OF PALMDALE
 PLANNING DEPARTMENT

WHITE PLEXI. BACKGROUND / FLAT LETTERS
 HEADER: STUCCO BACKGROUND,
 CRANIE CUT-OUT LETTERS "PLAZA DEL SOL"
 STUCCO COVERED SHEET METAL BASE

- 10' AWAY FROM P.L.

NEW MONUMENT
SIGN

SIGN AREA



TYP. BLDG. ELEVATION - WALL SIGNS

PLAZA DEL SOL

SIGN CRITERIA

JULY 17, 1995

<p>APPROVED -SUBJECT TO CONDITIONS- CITY OF PALMDALE PLANNING DEPARTMENT</p> <p><i>Russell Koskoff</i></p> <p>SIGN PERMIT <u>7501</u></p> <p><i>R. K. K.</i></p> <p>DATE <u>8/1/95</u></p>
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A. INTRODUCTION

The intent of this Sign Criteria is to provide the guidelines necessary to achieve a visually coordinated, balanced, and appealing signage environment at the southeast corner of 30th Street East and Palmdale Blvd., Palmdale, CA.

Performance of this Sign Criteria shall be rigorously enforced and any nonconforming signs shall be removed by the tenant or his sign contractor at their expense, upon demand by Owner.

Exceptions to these standards shall be reviewed by the Owner. However, based upon our field experience, deviations will generally result in serious inequities between tenants. Accordingly, the Owner will retain full rights of approval of any sign used in the center.

B. GENERAL OWNER/TENANT REQUIREMENTS

1. Each tenant shall submit to the Landlord for written approval, four (4) copies of the detailed shop drawings of his proposed sign, indicating conformance with the sign criteria herein outlined, call:

Developer: Dave Moradzadeh
Phone: (310) 587-1111
Fax: (310) 349-2693

2. The tenant shall submit a sign drawing approved by the Owner to the appropriate City authority for approval prior to the start of any sign construction or fabrication.
3. The tenant shall pay for all signs, their installation (including final connection, transformers and all other labor and materials) and maintenance.

4. The tenant shall obtain all necessary permits.
5. The tenant shall be responsible for fulfillment of all requirements of this sign criteria.
6. The Owner shall provide primary electrical service terminations at the interior of wall or canopy located in the center of the allowed signage area.
7. It is the responsibility of the tenant's sign company to verify all conduit and transformer locations and service prior to fabrication.
8. The location of all signs shall be per the accompanying design criteria.
9. One "sign space" shall be allowed for each tenant (except as otherwise approved in writing). The tenant shall verify his sign location and size with Owner prior to fabrication.
10. NOTE! No sign shall be constructed until approved permits from City Planning and Building and Safety Departments are received.

C. GENERAL SIGN SPECIFICATIONS

1. No crossovers, conduits, conductors, transformers, etc., shall be permitted.
2. All lettering shall be restricted to the "net sign area." See accompanying designs criteria for specific information.
3. No projection above or below the "net sign area" will be permitted (except as otherwise approved in writing).
4. All signs and their installation must comply with all local building and electrical codes and bear a U.L. label placed in an inconspicuous location.
5. For purposes of store identification, tenant will be permitted to place upon each entrance to its demised premises of gold leaf or decal application lettering indicating hours of business, emergency telephone, etc.

6. Primary specification:

- a. Shop signs shall be attached in designated areas only and may not exceed 75% of the leasehold frontage.
 1. Wall sign on primary frontage not exceeding one and one-half (1 1/2) square feet of sign area for each lineal foot of building frontage.
 2. 36 inch high letters maximum for tenant spaces of 7,500 square feet or larger. Not to exceed a maximum of 75 square feet.
 3. 24 inch high letters maximum for tenant spaces less than 7,500 square feet in size. Not to exceed a maximum of 75 square feet.
 - b. The face of the individual channel letter or logo shall be constructed of acrylic plastic (1/8" thick minimum) and fastened to the metal can in an approved manner.
 - c. The "copy" (letter type), logos and their respective colors shall be submitted to the Owner for written approval prior to fabrication.
 - d. No more than two rows of letters are permitted, provided their maximum total height does not exceed the height of the "net sign area."
 - e. Tenants shall display only their established trade name of their basic product name, e.g. "John's Jeans," or combination thereof.
 - f. Internal illumination to be 60 milli-amp neon installed and labeled in accordance with the "National Board of Fire Underwriters Specifications."
 - g. No sign shall extend above the roof line or hang below the roof line.
7. Color of exposed returns of channel letters or logos shall be black.
 8. All penetrations of the building structure required for sign installation shall be sealed in a watertight condition and shall be patched to match adjacent finish.

9. Maximum allowable signage are:

1. Wall sign on primary frontage to exceeding one and one-half (1 1/2) square feet of sign area for each lineal foot of building frontage.
2. 36 inch high letters maximum for tenant spaces of 7,500 square feet or larger. Not to exceed a maximum of 75 square feet.
3. 24 inch high letters maximum for tenant spaces less than 7,500 square feet in size. Not to exceed a maximum of 75 square feet.
4. One wall sign for any other side of the building that does not face residentially designated property, to to exceed one-half (1/2) square feet of sign area per lineal foot of secondary frontage or 50 square feet.

D. PROHIBITED SIGNS

1. Signs Constituting A Traffic Hazard:

No person shall install or maintain or cause to be installed or maintained any sign which simulates or imitates in size, color, lettering or design any traffic sign or signal, or which makes use of the words "STOP," "LOOK," "Danger," or any other words, phrases, symbols, or characters in such a manner as to interfere with, mislead or confuse traffic.

2. Animated, Audible or Moving Signs:

Signs consisting of any moving, swinging, rotating, flashing, blinking, scintillating, fluctuating or otherwise animated light are prohibited.

3. Light Bulb Strings:

External displays, other than temporary decorative holiday lighting, which consist of unshielded light bulbs.

4. Cabinet Signs

No new cabinet signs shall be installed. Existing cabinet signs in center may remain with change of copy only.

5. All other signs defined as prohibited signs as per the City of Palmdale Zoning Ordinance 88.06.

SIGNS & DESIGNS

821 E. AVE. G-7
 PALMDALE
 CA. 93550
 CONTRACTORS LIC. NO. 539147
 805 947-4473
 FAX 805 947-3559

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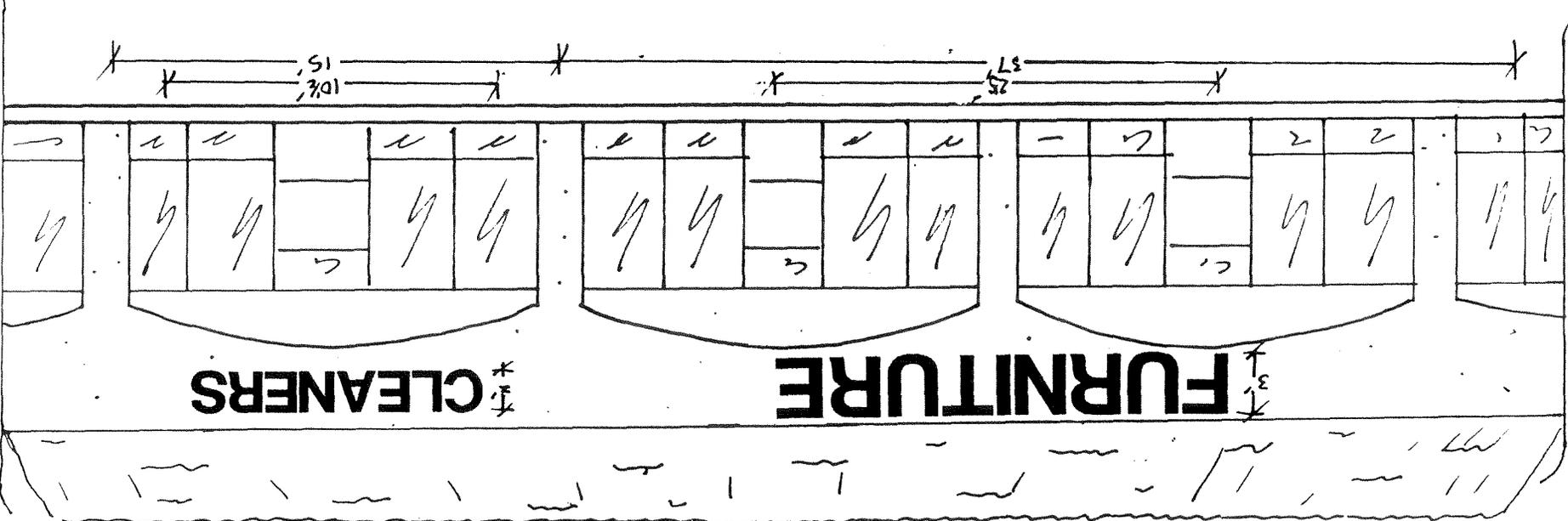
Address 3030 F. PALMDALE BLVD

Business Center Plaza DEL SOL

Developer's Approval X

Date _____ Scale N/A Job Save Code _____

TYPICAL BUILDING ELEVATION



TYPICAL MAJOR TENANT SIGNAGE 2'

SIGNS & Designs

821 E AVE. 0-7
 PALMDALE
 CA. 93550
 CONTRACTORS LIC. NO. 539147
 805 947-4473
 FAX 805 947-3559

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