

# Signage Program

## THE PLACE ON 47<sup>TH</sup> STREET

### I. GENERAL

Signs are not only effective as store identification, but are a source of interest, excitement and good advertising when designed with taste and in harmony with the design standards of the shopping center. The sign regulations herein have been established for the purpose of achieving the best possible effect for store identification and overall design, while allowing each tenant creativity within the limits of their leasehold. Experience has proven that all stores in the Center benefit by the establishment of sign controls such as herein set forth.

### II. APPROVALS

- A. The design and construction of tenant's exterior sign **MUST** receive written approval by landlord prior to fabrication and installation.

Landlord's approval shall be based on:

- 1) Conformity to the sign criteria established for the center, including fabrication and method of installation.
- 2) Harmony of the proposed sign with the design standards of "The Place on 47<sup>th</sup> Street" and co-tenants.
- 3) Compliance with all City of Palmdale requirements.

Landlord has the specific right to refuse approval of any sign which does not conform to the specific criteria set forth herein.

- B. To secure landlord's approval, tenant agrees to conform to the following procedure:

- 1) Two copies of the detailed sign design, one with a color swatch, submitted to landlord at:

c/o Rothbart Development  
1801 Avenue of the Stars, Suite 920  
Los Angeles, California 90067  
ATTENTION: Stan Rothbart

*Comma File*

<b>APPROVED</b> -SUBJECT TO CONDITIONS- CITY OF PALMDALE PLANNING DEPARTMENT <i>Proctor</i> <b>SIGN PERMIT</b> <i>01-01</i> <i>[Signature]</i> DATE <u>12/3/01</u>
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- C. Unless landlord has received the above described plans in the quantities set forth above, landlord will not approve tenant's exterior sign(s).

The sign drawings are to be prepared by a reputable STATE licensed sign contractor. The sign drawings must indicate the following information:

- 1) A scaled storefront drawing reflecting the proposed sign design and all dimensions, as it relates to the storefront elevation of tenant's premises.
  - 2) A plot plan and elevation indicating location of tenant sign.
  - 3) Sizes of sign letters must be accurately dimensioned, spaced and drawn at a minimum of 1/2" = 1'-0" scale.
  - 4) Section through sign and fascia to show its construction methods.
  - 5) Plexiglas colors, paint finishes and types of materials.
  - 6) Neon tubing sizes, colors, and intensity.
- D. All drawings marked "Disapproved" or "Approved as Noted" must be re-submitted as here and above set forth in paragraph "B" with required corrections. Tenant or it's sign contractor will not be permitted to commence installation of the exterior sign, unless the following conditions have occurred:
- 1) A stamped set of the final sign drawings reflecting landlord's approval are received and retained at tenant's premises at all times during the installation of design and for a period of thirty (30) days thereafter.
  - 2) NOTE: No sign shall be constructed until approved building permits from the City of Palmdale Planning and Building and Safety Department are received by the sign contractor.

**III. GENERAL SIGN CRITERIA AND RESTRICTIONS, SEE EXHIBITS A, B, C, D**

Exhibit A – Site Plan with Sign Locations

Exhibit B – Entry Feature Project Sign

Exhibit C – Monument Sign

Exhibit D – Channel Letter Detail

A. Sign Matrix

- ◆ 1.0 Entry Feature Project Signs

- 1.1 Description: Project shall erect and maintain one illuminated Entry Feature Project Signs including tenant identification as shown on Exhibit B.
- 1.2 Size: Height of Entry Feature Monument Signs shall not exceed ten (10) feet. Signage area shall not exceed 100 square feet.
- 1.3 Location: Entry Feature Project Signs shall be located as shown on Exhibit A, (each such sign is labeled thereon as A-1) or at locations as approved from time to time by the Director of Planning. Entry Feature Monument Signs (there shall be no more than two (2) such signs in the Project) shall be set back at least 10 feet from the property line.

◆ 2.0 Monument Signs:

- 2.1 Description: Monument signs shall be permitted for each building as shown on Exhibit C.
- 2.2 Size: Height of monument signs shall not exceed 5 feet. The signage area shall not exceed 50 square feet.
- 2.3 Location: Monument signs shall be located as shown on Exhibit A, (each such sign is labeled thereon as A-2) or at locations as approved from time to time by the Director of Planning. Monument Signs (there shall be no more than eight (8) such signs in the Project) shall be set back at least 10 feet from the property line.

◆ 3.0 On Building Identification Signs

- 3.1 Description: Each tenant shall be permitted on building identification signs, including (i) a Primary Frontage Sign and (ii) Secondary Frontage Signs. Tenants typical and logo identification shall be allowed.
- 3.2 Size:
  - (i) Primary Frontage Sign: 2 square feet for each linear foot of building frontage.
  - (ii) Secondary Frontage Sign: 2 square feet for each linear foot of secondary building frontage.
- 3.3 Location: On building frontages per Tenant plans. Buildings abutting residential properties shall not be permitted signs facing such residential properties.
- 3.4 Detail: Details for precise on building identification signs shall be submitted by individual tenants on a case by case basis.

- B. The advertising or information content on the sign shall be limited to letters designating the store name or established trade logo, as set forth in signed lease documents between tenant and landlord. Tenant shall display their

established trade names and normal and customary secondary copy.

- C. The face colors and type styles of all signs shall be subject to landlord's approval. In the event the tenant does not have an established exterior sign identity, the landlord recommends that the lettering style be designed by the sign contractor to reflect a visually exciting look. Established trade logos and signage shall be permitted providing they conform to the criteria described herein.
- D. Logo plaques used in conjunction with individual letters will be considered a part of the sign area, and are subject to landlord's approval.
- E. The tenant shall pay for all signs, their installation, (including final connection, transformers and all other labor and materials) and maintenance. Tenant sign contractor must file, pay for and obtain any licenses, permits and variances as required for sign installation by the City of Palmdale.
- F. Each tenant or its sign contractor shall be responsible for the repair of any damage to the building caused by the installation of said tenant's sign. Only STATE licensed sign contractors shall perform installations at The Place On 47<sup>th</sup> Street.
- G. Tenant shall be responsible for removal of his sign within thirty (30) days after vacating the site. **Removal of the sign shall include the repair of the wall surface back to the original condition.**
- H. Individual shop address numerals will be installed by the landlord.
- I. Each occupant shall be responsible for keeping all signage or graphics on its premises in a state of good repair, in the sole judgement of landlord. Landlord shall inform occupant, in writing, of non-compliance with the sign criteria. Remedy of specified non-acceptance condition(s) shall be made by occupant within thirty (30) days from receipt of such written notification.
- J. NOTE: Exhibit A, B, C & D are an integral part of this criteria. Please refer to these pages for additional information, location, and fabrication.

#### IV. **FABRICATION AND INSTALLATION - SEE EXHIBIT D FOR ILLUMINATED CHANNEL LETTERS**

- A. The fabrication and installation of all signs shall be subject to the following restrictions:

- 1) Individual Channel Letters only. All Channel Letters are to be fabricated .60 to .125 aluminum sheet. Letters must be fabricated of welded aluminum with aluminum backs. No pop-riveted letters will be allowed. Channelume, Channel Classic, and Channel LET-R-edge type letters will not be permitted due to rapid deterioration factor (no exceptions).
- 2) Letter faces shall be 3/16" thick, flat surface colored Plexiglas as manufactured by Auto Haus or approved equal. Painted plexiglas will not be permitted. Colors are subject to landlord approval.
- 3)
  - a. Retainer trim cap shall be 3/4" black "Jewlite" brand trim cap edge, unless otherwise approved by landlord. Retaining screws shall be #7 x 3/8" Phillips type sheet metal screws. All trim cap retaining screws must be painted to match trim cap color
  - b. 5" deep letter returns shall be painted minimum of two (2) coats of black acrylic enamel.
- 4) Neon tubing will be 13 to 15 millimeter, 4" on center or less.
- 5) 30 MA high power factor transformers shall be used. Letters must all comply with current UL2161 code.
- 6) Housings, Hage, or other approved connectors shall be used for all neon tube system. Letters shall have UL labels.
- 7) All sign letters shall be secured by concealed fasteners, stainless steel or nickel or cadmium plated.
- 8) No exposed incandescent or fluorescent lamps will be permitted. All exposed neon must be approved by landlord and the City of Palmdale. Proposed neon tubing may be used on buildings as an enhancement to architectural features of a structure, if approved by landlord and the City of Palmdale. Continuous neon bands at building parapets are prohibited.
- 9) All penetrations of the building structure required for sign installation shall be sealed in a watertight condition.
- 10) No sign company labels will be permitted on the exposed surfaces of the signs except those required by Underwriters Laboratories, which shall be placed in an inconspicuous location on first letter only. All Channel Letters must have a 3/16" diameter drain hole at bottom of every letter. All signs shall be fabricated and installed with U.L. approval in compliance with all applicable building and electrical codes.

- 11) The tenant shall be responsible for providing primary electrical service terminations to the signage area on the rear side of the fascia wall.
- 12) All signs shall conceal all necessary wiring, transformers, ballasts, starters, and other necessary equipment within their individual letters or behind storefront construction.
- 13) It is the responsibility of the tenant's sign contractor to verify all conduit and transformer locations and service prior to fabrication.

## V. NON-CONFORMANCE

- A. No field installation changes are permitted without first notifying landlord in writing. If in the event any sign is changed as to placement and location which differs from plan, sign company will be responsible to repair and relocate sign to proper placement at sign company's expense.
- B. Any sign that is installed by tenant which is not in conformance to the approved drawings shall be corrected by tenant within fifteen (15) days after written notice by landlord. In the event tenant's sign is not brought into conformance within said fifteen (15) day period, then landlord shall have the option to correct said sign at tenant's expense.

## PROHIBITED SIGNS

1. NO BOX-TYPE OR CABINET SIGNS WILL BE PERMITTED ***EXCEPT FOR LOGOS AND DECORATIVE SIGN COMPONENTS, approved by landlord, in writing.***
2. No signs will be permitted on any awnings, except as approved by Landlord and the City of Palmdale.
3. Temporary signs shall be permitted pursuant to the Palmdale Zoning Ordinance, subject to approval of Landlord.
4. No tenant shall affix any type of painted window signs, placards, or temporary window signage unless specific written approval is received by Landlord.
5. **SIGNS OR DOORS, WINDOWS OR FIRE ESCAPES**  
No window signs will be permitted except as noted herein. No sign shall be

installed, relocated, or maintained so as to prevent free ingress to or egress from any door. No sign of any kind shall be attached to a stand pipe except those signs, as required by code or ordinance.

6. OFF-PREMISES SIGNS

Any signs installed for the purpose of advertising a project, event, person or subject not related to the premises upon which said sign is located, is prohibited.

7. VEHICLE SIGNS

Signs on or affixed to trucks, automobiles, trailers, or other vehicles which advertise, identify, or provide direction to a use or activity not related to its lawful making of deliveries of sales or merchandise or rendering of services from such vehicles and signs not permitted pursuant to the Palmdale Zoning Ordinance, are prohibited.

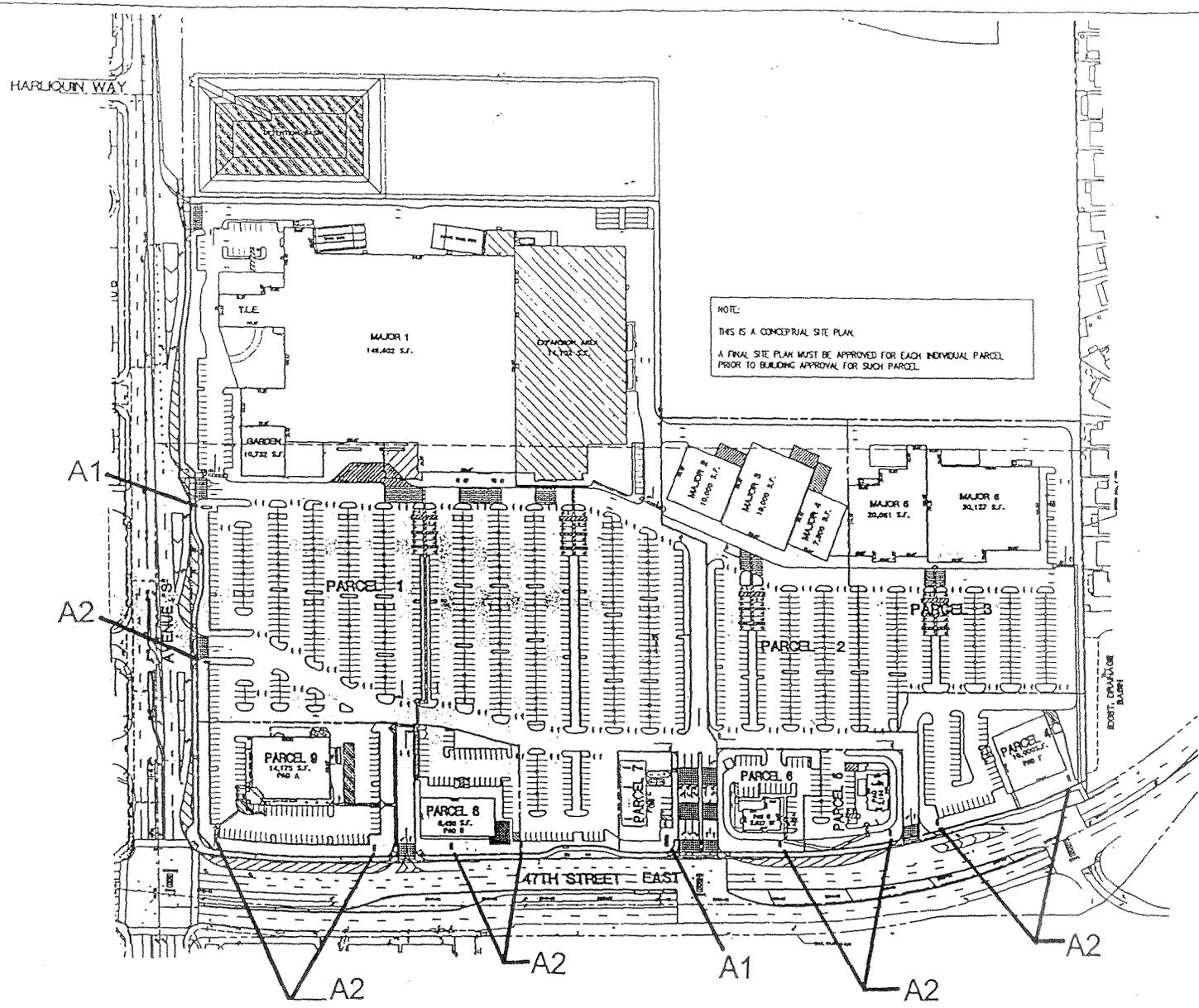
8. LIGHTBULB STRINGS AND EXPOSED TUBING

External displays, other than temporary decorative holiday lighting, which consist of unshielded light bulbs, and open or gaseous light tubing, are prohibited.

9. BANNERS, PENNANTS, AND BALLOONS USED FOR ADVERTISING PURPOSES

Flags, banners, or pennants, or a combination of same may be permitted subject to landlord and City approval.

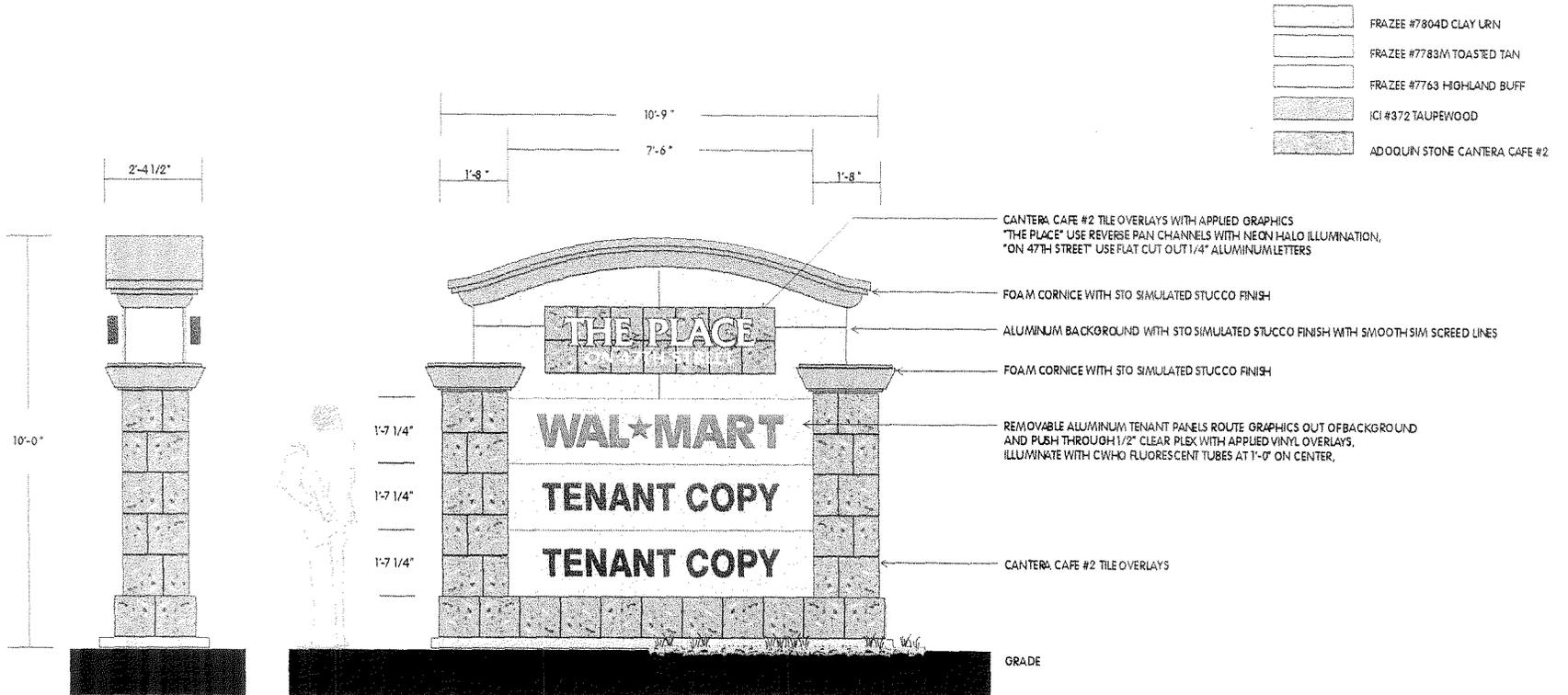
EXHIBIT "A"



Client Information  
ROTHBART DEVELOPMENT  
1801 AVENUE OF THE STARS #920  
LOS ANGELES, CA 90404  
(310) 227.6288  
(310)277.6388 fax

Project Information  
THE PLACE ON 47TH STREET  
SEC OF AVENUE S & 47TH STREET E  
PALMDALE, CA

EXHIBIT "B"



**NEW DOUBLE FACED INTERNALLY ILLUMINATED GROUND DISPLAY SCALE 3/8" = 1'-0"**

USE STANDARD RETAINER-LESS 090 ALUMINUM CONSTRUCTION WITH ANGLE FRAME AND STEEL PIPE SUPPORT INTO CEMENT FOOTING. SEE ENGINEERS SPECS FOR STRUCTURAL CALCULATIONS. VERIFY EXACT LOCATION OF SIGN PRIOR TO INSTALLATION.

PROJECT TITLE THE PLACE ON 47TH STREET  
 ADDRESS SEC AVENUE S. AND 47TH STREET E., PALMDALE  
 ACCOUNT EXECUTIVE JOHN HADAYA  
 FILE #THEPLAC06 DESIGN #001682 REVISED OCTOBER 31, 2001 DAG

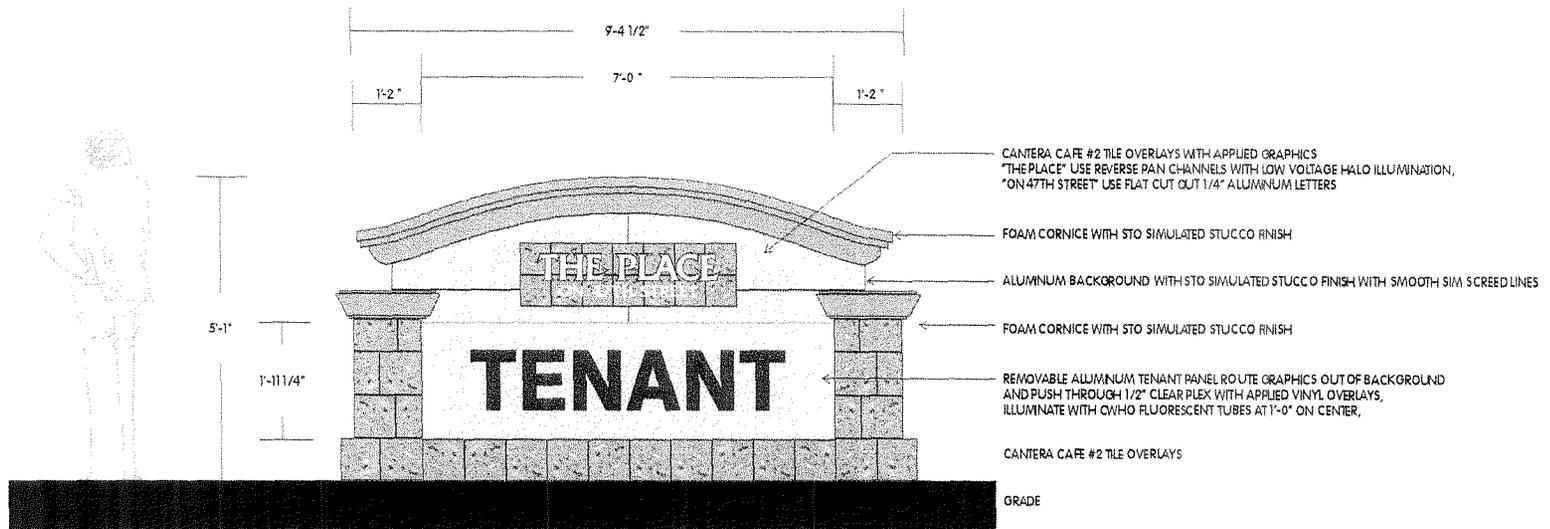
PRIMARY ELECTRICAL TO SIGN LOCATIONS IS TO BE PROVIDED BY OTHERS. A DEDICATED CIRCUIT WITH NO SHARED NEUTRALS AND A GROUND RETURNING TO THE PANEL IS REQUIRED FOR ALL INSTALLATIONS.



**ultrasigns**  
**ELECTRICAL ADVERTISING**  
 5450 COMPLEX STREET, SUITE 307 SAN DIEGO, CA 92123 (616) 569-1400  
 ALL PRIMARY ELECTRICAL TO SIGNS / TRANSFORMERS TO BE SUPPLIED BY OTHERS

THIS ORIGINAL DESIGN IS THE SOLE PROPERTY OF ULTRASIGNS. IT CANNOT BE REPRODUCED, COPIED OR EXHIBITED, IN WHOLE OR PART, WITHOUT FIRST OBTAINING WRITTEN CONSENT FROM ULTRASIGNS.

-  FRAZEE #7804D CLAY LRN
-  FRAZEE #7783M TOASTED TAN
-  FRAZEE #7763 HIGHLAND BUFF
-  ICI #372 TAUPEWOOD
-  ADOQUIN STONE CANTERA CAFE #2

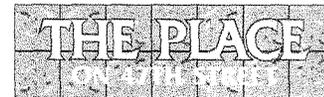


**NEW DOUBLE FACED INTERNALLY ILLUMINATED GROUND DISPLAY** SCALE 1/2"=1'-0"

USE STANDARD RETAINER-LESS 090 ALUMINUM CONSTRUCTION WITH ANGLE FRAME AND STEEL PIPE SUPPORT INTO CEMENT FOOTING.  
SEE ENGINEERS SPECS FOR STRUCTURAL CALCULATIONS.  
VERIFY EXACT LOCATION OF SIGN PRIOR TO INSTALLATION.

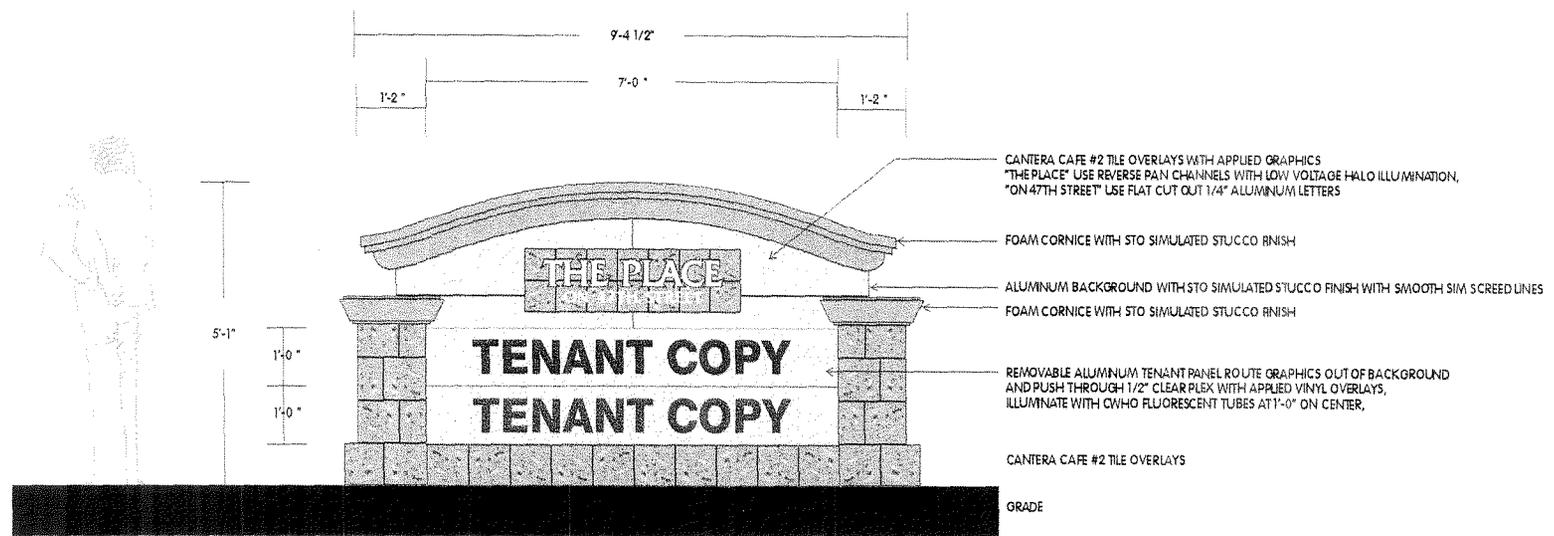
PROJECT TITLE THE PLACE ON 47TH STREET  
ADDRESS SEC AVENUE S. AND 47TH STREET E., PALMDALE  
ACCOUNT EXECUTIVE JOHN HADAYA  
FILE #THEPLAC06 DESIGN #001682 REVISED OCTOBER 31, 2001 DAG

PRIMARY ELECTRICAL TO SIGN LOCATIONS IS TO BE PROVIDED BY OTHERS. A DEDICATED CIRCUIT WITH NO SHARED NEUTRALS AND A GROUND RETURNING TO THE PANEL IS REQUIRED FOR ALL INSTALLATIONS.



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ALL PRIMARY ELECTRICAL TO SIGNS / TRANSFORMERS TO BE SUPPLIED BY OTHERS

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-  FRAZEE #7783M TOASTED TAN
-  FRAZEE #7763 HIGHLAND BUFF
-  ICI #372 TAUPEWOOD
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SEE ENGINEERS SPECS FOR STRUCTURAL CALCULATIONS.  
VERIFY EXACT LOCATION OF SIGN PRIOR TO INSTALLATION.

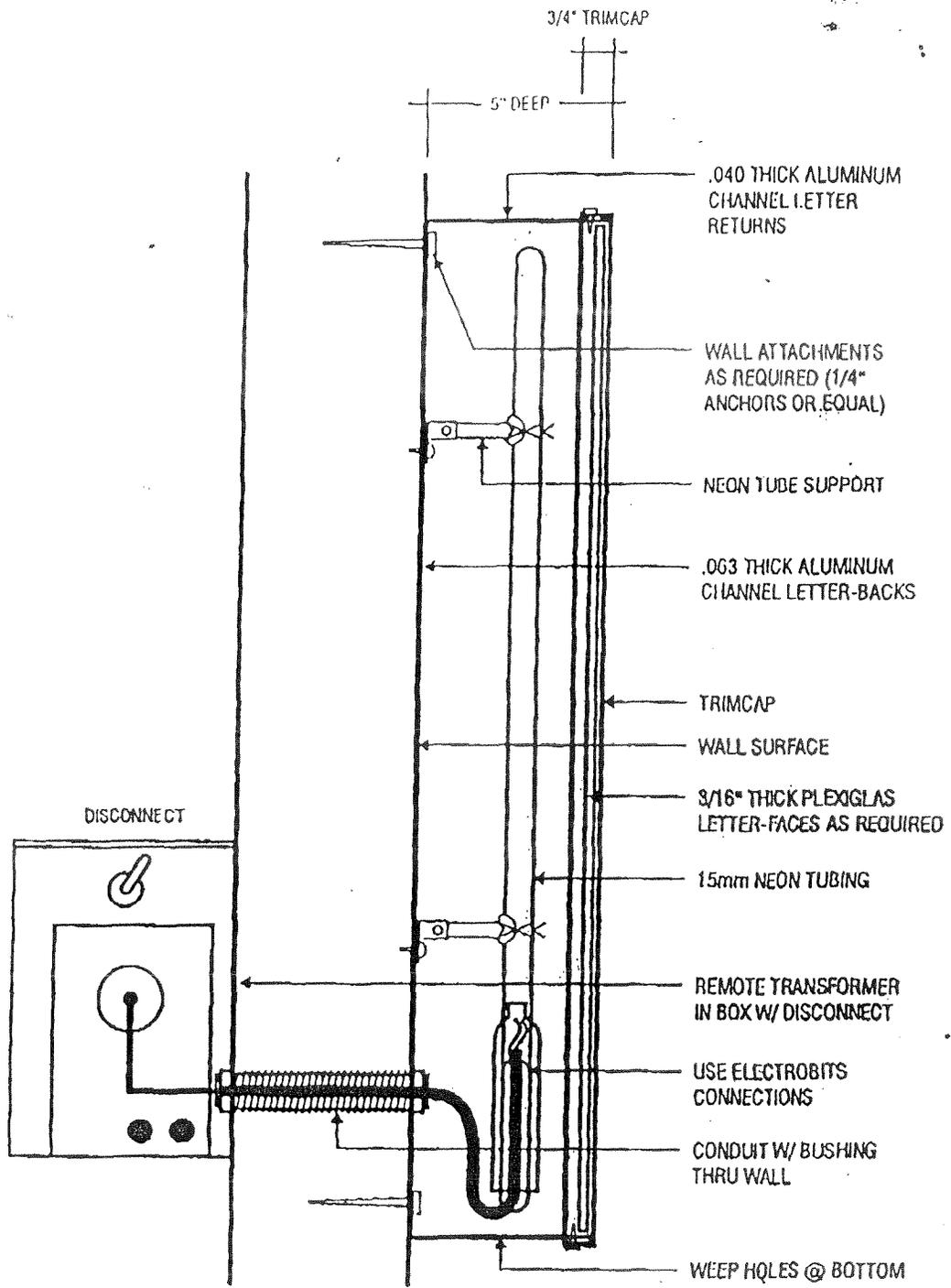
ALTERNATE SHOWS TWO TENANT PANELS

PROJECT TITLE THE PLACE ON 47TH STREET  
ADDRESS SEC AVENUE S. AND 47TH STREET E., PALMDALE  
ACCOUNT EXECUTIVE JOHN HADAYA  
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**FACE-LIGHTED CHANNEL WALL LETTERS END ATTACHMENT DETAIL**

SCALE: NTS

EXHIBIT "D"